

# UNITED VETERINARY

## PROVISIONAL USE PERMIT

### 601 SHOWERS DRIVE, MOUNTAIN VIEW, CA 94040

#### ABBREVIATIONS

A.B. A.C. ACOUS	ANCHOR BOLT ASPHALT CONCRETE ACOUSTICAL AREA DRAIN	GA. GALV. GB. GLS. GRD. G.S. GYP G.S.M.	GAUGE GALVANIZED GRAB BAR GLASS GRADE GALVANIZED STEEL GYPSUM GALVANIZED SHEET METAL	REM RAD. R.D. R.E. REV. RSR. REINF. RM. REQ. R.H. R.O. RWD. RWL.	REMOVE RADIUS ROOF DRAIN RIM ELEVATION REVISION RISER REINFORCING ROOM REQUIRED RIGHT HAND ROUGH OPENING REDWOOD RAIN WATER LEADER
BRD. BET. BLDG. BLKG. B.M. BOT. B.S. BSMT. B.W.	BOARD BETWEEN BUILDING BLOCKING BENCH MARK BOTTOM BOTH SIDES BASEMENT BOTH WAYS	H.B. H.C. HOR. HDW. HORIZ. HR. HT. HWD. H.M.	HOSE BIBB HOLLOW CORE HEADER HARDWARE HORIZONTAL HOUR HEIGHT HARDWOOD HOLLOW MTL.	SNK. S.C. S.D. SHT. SHTG. SIM. S.M. SPEC. SQ. S.S. S/S STRUCT. STOR. STL. SUS.	SINK SOLID CORE SASH DIMENSION SHEET SHEETING SIMILAR SHEET METAL SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STRUCTURAL STORAGE STEEL SUSPENDED
CAB. C.B. CER. CFL. C.B. CBLT. Q. C.G. CH. CHT. CONST. CLG. C.I. C.J.	CABINET CHALK BOARD CERAMIC COUNTER FLASHING CATCH BASIN COUNTER BOLT CENTER LINE CORNER GUARD CHANNEL CEILING HEIGHT CONSTRUCTION CEILING CAST IRON CONSTRUCTION JOINT CLEAN COLUMN COMMON CONCRETE CONTINUOUS CORRUGATED COUNTERSINK CLEAR ALL HEART REDWOOD CERAMIC TILE	I.D. INCL. INSUL. INT. INV. JAN. J.H. K.D. LVR. LAM. LAV. L.D. LAM. PLAST.	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT JANITOR JOIST HANGER KILN DRIED LOUVER LAMINATED LAVATORY LOUVER DIMENSION LAMINATED PLASTIC	TRD. T.B. T.C. TEL. T&G. T.J. TRPL. TYP. TEMP.	TREAD TACKBOARD TOP OF CURB TELEPHONE TONGUE & GROOVE TOP OF JOIST TRIPLE TYPICAL TEMPERED
CLR. COL. COM. CONC. CONT. CORR. CTRSK. C.A.H.R.	JOINT CLEAN COLUMN COMMON CONCRETE CONTINUOUS CORRUGATED COUNTERSINK CLEAR ALL HEART REDWOOD CERAMIC TILE	M. MAS. MAX. MAT. M.B. MECH. M.E. MTL. MFR. MIN. MISC. M.L. MUL. M.S. M.T.	MEN MASONRY MAXIMUM MATERIAL MACHINE BOLT MECHANICAL METAL EDGE METAL MINIMUM MISCELLANEOUS MACHINE LATH MULLION MACHINE SCREW METAL THRESHOLD	U.O.S. U.N.O.	UNDERWRITERS LABEL UNLESS OTHERWISE SHOWN UNLESS NOTED OTHERWISE
C.T.  D. d DBL. DET. D.F. DIA. DIAG. DIM. DR. D.S. DWG.	DRAIN PENNY DOUBLE DETAIL DOUGLAS FIR DRINKING FOUNTAIN DIAMETER DIAGONAL DIMENSION DOOR DOWNSPOUT DRAWING	N. N.I.C. NO. NOM. NTS.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	V.C.T. V.B. V.I.F. V.G. VERT. V.C.P.	VINYL COMPOSITION TILE VINYL BASE VERIFY IN FIELD VERTICAL GRAIN VERTICAL VITRIFIED CLAY PIPE VENT TO ROOF VENT TO WALL
EA. EB. E.J. EL. ELEC. ELEV. EMER. EQUIP. (E) EXH. EXP. EXT. EQ.	EACH EXPANSION BOLT EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY EQUIPMENT EXISTING EXHAUST EXPOSED EXTERIOR EQUAL	OBSC. O.C. O.D. O.F. O.F.S. OPP. PARTN. P.B. P. PLAS. PL. P.L. PLWD. P.T. P.T.D.F. QT.	OBSCURE ON CENTER OUTSIDE DIAMETER/ DIMENSION OVERFLOW DRAIN OUTSIDE FACE OF STUD OPPOSITE PARTITION PANIC BOLT PLATE LINE PLASTER PLATE PROPERTY LINE PLYWOOD PRESSURE TREATED PRESSURE TREATED DOUGLAS FIR	W/ W.C. W.D. W.D. W.P. W.S. WSC.T. W.W.F.	WITH WATER CLOSET WINDOW DIMENSION WOOD WATERPROOF WOOD SCREW WAINSCOT WELDED WIRE FABRIC
F.A. F.B. F.D. F.E. FIN. FLR. FLRG. FND. F.O.C. F.O.S. F.P. FTG. FG.	FIRE ALARM FACE BRICK FLOOR DRAIN FIRE EXTINGUISHER FINISH FLOOR FLOORING FOUNDATION FACE OF CONCRETE FACE OF STUD FIRE PLACE FOOTING FIXED GLASS	F.P. FTG. FG.	QUARRY TILE		



#### GENERAL NOTES

##### OPERATIONAL DESIGN CRITERIA

THERE ARE A NUMBER OF DESIGN CRITERIA WHICH ARE TYPICAL OF VETERINARY FACILITIES, EITHER DRIVEN BY FUNCTION, OR REGULATORY/LICENSING REQUIREMENTS. THESE CRITERIA ARE REQUIRING US TO REMOVE THE EXISTING BUILDING ENTRY WHICH OPENS ONTO SHOWERS DRIVE (NOTE THAT THIS ENTRY IS CURRENTLY LOCKED FROM THE EXTERIOR BY THE EXISTING TENANT).

PUBLIC ENTRY:

IT IS CRITICAL THAT THERE BE ONLY ONE ENTRY AREA FOR THE PUBLIC WHICH IS ADJACENT TO A CONTROL POINT (RECEPTION). QUICK ASSESSMENTS NEED TO BE MADE ON A PATIENT'S CONDITION, TEMPERAMENT AND CONTROL BY THEIR OWNER. DUE TO THE EMERGENCY NATURE OF PART OF THIS PRACTICE, IT IS ALSO CRITICAL THAT THE BUILDING ENTRY BE CLEARLY VISIBLE FROM THE PARKING AREA (WHERE THE EMERGENCY PATIENTS WILL BE ARRIVING) AND EASY TO ACCESS WHEN A DISTRAUGHT OWNER MAY BE CARRYING AN INJURED PATIENT.

CONTAINMENT:

VETERINARY BEST PRACTICES INCLUDE THE PRINCIPAL OF DOUBLE CONTAINMENT FOR PATIENTS. THIS MEANS THAT IF A PRIMARY MEANS OF RESTRAINT (A LEASH OR A CAGE DOOR) FAILS, THERE WILL BE A SECOND LEVEL OF CONTAINMENT (A CLOSED DOOR) BEFORE A PATIENT COULD REACH A PUBLIC SPACE IN THE FACILITY. OR A DOOR TO THE EXTERIOR. THIS SEVERALLY LIMITS THE ABILITY TO PROVIDE EXTERIOR DOORS DIRECTLY FROM TREATMENT OR PATIENT AREAS.

WE WILL BE ADDING A NEW EXTERIOR DOOR TO PROVIDE EMERGENCY EGRESS AND DELIVERY ACCESS FROM THE OPPOSITE SIDE OF THE BUILDING, WITH AN INTERNAL DOOR AND HALLWAY TO PROVIDE THE SECONDARY CONTAINMENT.



VIEW FROM SOUTH PARKING LOT



VIEW FROM SHOWERS DRIVE



VIEW FROM STREET INTERSECTION

##### PROJECT DESCRIPTION

THIS PROJECT PROVIDES INTERIOR TENANT IMPROVEMENTS OF AN EXISTING 5,908 SQUARE FOOT SHELL BUILDING LOCATED AT 601 SHOWERS DRIVE. THE EXISTING DRIVE THROUGH CANOPY IS TO REMAIN AND IS REPURPOSED TO SUIT THE NEEDS OF THE VETERINARY CLINIC. AN APPROXIMATE 8' X 20' EXTERIOR WALLED STORAGE WILL BE ADDED UNDER THE CANOPY, ADJACENT AND ATTACHED TO THE BUILDING.

THIS PROJECT WILL PROVIDE MINIMAL SITE IMPROVEMENTS ALONG WITH A FULL INTERIOR TENANT IMPROVEMENT FOR THE UNITED VETERINARY SPECIALTY AND EMERGENCY OPERATIONS. A DETAILED OPERATIONAL DESCRIPTION IS BELOW.

##### OPERATIONAL PLAN

UNITED VETERINARY SPECIALTY AND EMERGENCY IS THE RESULT OF THE TRIPLE MERGER OF THE TWO LONGEST STANDING, LOCAL VETERINARY EMERGENCY HOSPITALS, SOUTH PENINSULA VETERINARY EMERGENCY CLINIC IN PALO ALTO AND THE SISTER HOSPITAL'S, UNITED EMERGENCY ANIMAL CLINIC IN CAMPBELL AND EMERGENCY ANIMAL CLINIC IN SAN JOSE, AND A VETERINARY SPECIALTY SURGICAL FACILITY, WEST COAST VETERINARY SURGICAL BASED OUT OF PALO ALTO. IT WAS FORMED TO PROVIDE THE BEST VETERINARY DIAGNOSTIC AND TREATMENT ABILITIES CONSISTENTLY, COMPASSIONATELY, AND IN A PERSONALIZED AND REASONABLY PRICED MANNER.

THE LOCATION OF THE NEW HOSPITAL HAD TO FULFILL SEVERAL REQUIREMENTS:

- IT HAD TO BE NEAR ENOUGH TO OUR PRESENT, PALO ALTO, LOCATION TO REMAIN CONVENIENT FOR THE LOCAL GENERAL PRACTITIONERS TO CONTINUE TO SEND THEIR AFTER-HOURS EMERGENCIES.

- IT HAD TO BE SITUATED WHERE THERE WAS A NEED FOR A SPECIALTY HOSPITAL.

- IT IDEALLY WOULD BE IN AN AREA WHERE THE CLIENTS OF THE SPECIALTY HOSPITAL COULD GO AND SHOP OR EAT WHILE WAITING FOR THEIR ANIMALS WORK-UP TO BE COMPLETED BUT WOULD STILL BE EASILY ACCESSIBLE FOR AFTER-HOURS EMERGENCIES.

- IT IDEALLY WOULD BE CLOSE ENOUGH TO FOOD SERVICE PROVIDERS AND OTHER SERVICES THAT STAFF WOULDN'T WASTE TIME TRAVELING TO PURCHASE THEIR LUNCH OR TO RUN ERRANDS ON THEIR BREAKS.

601 SHOWERS DRIVE SATISFIES THE ABOVE REQUIREMENTS:

- DRIVING TIME BETWEEN SHOWERS DRIVE AND SOUTH PENINSULA VETERINARY EMERGENCY CLINIC IS NINE MINUTES WITHOUT TRAFFIC, ELEVEN WITH.

- THE CLOSEST SPECIALTY HOSPITALS ARE THIRTY MINUTES NORTH AND SOUTH. WE WILL BE THE FIRST AND ONLY VETERINARY SPECIALTY HOSPITAL IN THE AREA.

- MANY SPECIALTY CLIENTS WILL COME FROM THE SURROUNDING AREAS AND MAY CHOOSE TO EITHER RETURN HOME OR FREQUENT THE ESTABLISHMENTS IN MOUNTAIN VIEW, WHEREAS MANY OTHER CLIENTS WHO HAVE TRAVELED FROM FURTHER AWAY WILL WELCOME THE SHOPS AND RESTAURANTS AVAILABLE. IN THE EVENINGS AND ON WEEKENDS, WHEN THE SPECIALTY HOSPITAL IS CLOSED, THE EASY ACCESS TO SHOWERS DRIVE WILL HELP THE EMERGENCY SERVICE CLIENTELE GET THEIR ANIMALS SEEN SOONER.

- THERE ARE A VARIETY OF SHOPS AND SERVICES WITHIN EASY WALKING DISTANCE OF WHICH THE STAFF WILL BE ABLE TO MAKE USE.

ADDITIONALLY, 601 SHOWERS PROVIDES ADDITIONAL BENEFITS:

- IT IS BIG ENOUGH TO HOUSE OUR CURRENT FULL TIME SPECIALTY SERVICES (INTERNAL MEDICINE, NEUROLOGY, AND SURGERY) AND PART TIME SERVICES (CARDIOLOGY AND ONCOLOGY) DURING THE DAY AND THE EMERGENCY SERVICE AT NIGHT, BUT STILL SMALL ENOUGH THAT OUR CLIENTS WILL STILL APPRECIATE THE PERSONALIZED CARE.

- IT IS A STAND ALONE BUILDING WITH SUFFICIENT PARKING FOR OUR NEEDS. THE SPECIALTY CLINIC TYPICALLY ONLY PROVIDES CONSUMER ITEMS FOR PATIENTS WHO ARE BEING DISCHARGED, SO THE RETAIL BUSINESS COMPONENT THAT IS PRESENT IN MOST VETERINARY CLINIC PARKING REQUIREMENTS IS NOT PRESENT IN THIS FACILITY.

- DURING THE DAY WHEN THE SPECIALTY SERVICES ARE OPERATING, THERE WILL BE MORE TECHNICAL STAFF PER DOCTOR THAN IN THE EVENING WHEN THE EMERGENCY SERVICE IS FUNCTIONING, BUT THIS IS OFFSET BY THE LOWER NUMBER OF CLIENTS SEEN BY SPECIALTY THAN EMERGENCY. SPECIALTY IN GENERAL, UNLIKE, DAY PRACTICE OR BOARDING, TENDS TO SEE A SIGNIFICANTLY LOWER VOLUME OF CLIENTS BUT A HIGHER TRANSACTION CHARGE PER PATIENT.

- FULL TIME SPECIALTY SERVICES WILL BE OPEN 8AM TO 6PM, MONDAY THROUGH THURSDAY AND THE EVENTUAL GOAL FOR PART TIME SPECIALTY SERVICES WILL BE THURSDAY THROUGH SATURDAY, 8AM TO 6PM.

- WE ANTICIPATE THREE TO FOUR SPECIALISTS DURING THE DAY WITH A TECHNICAL SUPPORT STAFF OF SEVEN TO EIGHT AND AN ADMINISTRATIVE STAFF OF AN ADDITIONAL THREE. THOUGH THE SPECIALISTS AND ADMINISTRATIVE STAFF WORK EIGHT TO SIX, THE TECHNICAL STAFF'S SCHEDULES ARE STAGGERED FROM 7AM TO 8PM ON EIGHT HOUR SHIFTS. ADDITIONALLY, THE SPECIALISTS ALTERNATE THEIR CONSULTATION AND PROCEDURAL DAYS WITH THE OTHER SPECIALISTS TO FREE UP EXAMINATION ROOMS AND OPERATING AND PROCEDURE ROOMS.

- THE SPECIALTY CLINIC WILL TYPICALLY HAVE A TOTAL OF 13 CONSULTATIONS DURING THE DAY, SIX IN THE MORNING AND SEVEN IN THE AFTERNOON. THESE APPOINTMENTS USUALLY LAST ONE HOUR AND ARE SCHEDULED CONSECUTIVELY SO THERE WILL BE TWO EXAM ROOMS IN USE AT ANY ONE TIME. ALTHOUGH THERE WILL BE SOME OVERLAP IN CLINIC ARRIVAL AND DEPARTURE, THE EVENTUAL EXPANSION OF SOME CLINICAL SERVICES TO FRIDAY AND SATURDAY WOULD HAVE ONLY HALF THE SPECIALTY STAFF, SO THERE WOULD ONLY BE 7 CONSULTATIONS ON EITHER OF THOSE DAYS.

- IN THIS WAY, ONLY THE SPECIALISTS AND ADMINISTRATIVE STAFF WILL OCCUPY PARKING ALL DAY, WHILE MOST OF THE TECHNICAL SUPPORT WILL FREE UP THEIR PARKING SPACES AS THEIR REPLACEMENTS COME ON SHIFT. CLIENTS COMING TO SEE THOSE SPECIALISTS ON CONSULTATION DAYS WILL COME AND LEAVE REGULARLY EVERY HOUR OR TWO, WHEREAS THOSE CLIENTS DROPPING OFF PATIENTS FOR SURGERY OR PROCEDURES WILL BE SCHEDULED TO COME AT SET POINTS THROUGHOUT THE DAY.

- EVEN AT FULL STAFF CAPACITY, THE SEVEN REMAINING PARKING SPACES PROVIDE AT LEAST ONE EXTRA PARKING IN THE EVENT THAT ALL SIX EXAM ROOMS ARE FILLED.

- SINCE JANUARY, WE HAVE BEEN OPERATING OUT OF OUR CAMPBELL LOCATION THAT NORMALLY HOUSES AN EMERGENCY CLINIC, AN OPHTHALMOLOGY PRACTICE AND A BOARDING FACILITY AND HAS TWO PARKING SPOTS PER 1000 SQ FT. THIS IS A BUILDING WITH A MUCH GREATER NEED FOR PARKING SPACES, AND EVEN WITH US, RARELY IF EVER, HAS THERE BEEN A NEED FOR ADDITIONAL PARKING.

- EMERGENCY IS OPEN EVERY NIGHT FROM 6PM TO 8AM THE FOLLOWING MORNING, AND WEEKENDS AND HOLIDAYS.

- THERE ARE NO APPOINTMENTS FOR EMERGENCY SERVICES, BUT EXPERIENCE AT OTHER FACILITIES HAS SHOWN THAT THE BUSY TIMES MONDAY THROUGH FRIDAY ARE 6:00-6:30 (AFTER SPECIALTY SERVICES HAVE CLOSED) WHEN TRANSFERS COME FROM OTHER HOSPITALS, USUALLY THREE OR FOUR CLIENTS. IT IS RARE FOR CLIENTS TO ARRIVE AFTER 12:30 PM. DURING THE WEEK WE ANTICIPATE THAT WE WILL SEE AT TOTAL OF 10-20 CLIENTS ARRIVING DURING THIS FOUR HOUR TIME FRAME. ON WEEKENDS THIS NUMBER INCREASES TO 20-30 CASES, BUT ARE SPREAD THROUGHOUT THE DAY. SATURDAY USUALLY SEES LESS EMERGENCY CASES THAN SUNDAY SINCE MANY GENERAL VETERINARY PRACTICES HAVE SATURDAY HOURS. THIS REDUCED NUMBER OF EMERGENCY CASES WILL ALLOW US TO PROVIDE THE ANTICIPATED 7 SCHEDULED CONSULTATIONS DURING THE DAY WITHOUT NEGATIVELY IMPACTING THE AVAILABLE PARKING.

- WE ANTICIPATE ONE EMERGENCY DOCTOR PER OVERNIGHT SHIFT, AND UP TO TWO DOCTORS ON BUSY HOLIDAYS AND EVENINGS WITH A TECHNICAL SUPPORT STAFF OF FOUR TO SIX. AS IN THE DAY, THE TECHNICAL SUPPORT STAFF'S SCHEDULES ARE STAGGERED.

- IT WILL HAVE A SEPARATE ENTRANCE AND DRIVE FOR THE APPROXIMATE TWO TO THREE TIMES A WEEK DELIVERY OF SUPPLIES AND MEDICATIONS. OUR DISTRIBUTOR USUALLY SHIPS VIA DELIVERY VAN (ON-TRAC) BUT UPS WILL DELIVER APPROXIMATELY ONCE PER WEEK.

- IT HAS A SEPARATE, OFF-STREET PARKING LOT WHICH EMPTIES TO ONE MAIN ENTRANCE. THIS PROVIDES SAFETY FROM STREET TRAFFIC AND A BUFFER FROM TRAFFIC NOISE TO OUR CLIENTS AND THEIR PETS. ADDITIONALLY, THIS ONE ENTRANCE HELPS CREATE THE FLOW FROM THE FRONT DESK TO THE SEPARATE SPECIALTY AREAS DURING THE DAY AND ALLOWS FOR EASIER TRIAGE AT NIGHT FOR EMERGENCIES.

- IT HAS A SEPARATE CANOPY UNDER WHICH WE MAY CREATE AN EXERCISE/PHYSICAL THERAPY AREA FOR POST-OPERATIVE PATIENTS, PARTICULARLY AFTER ORTHOPEDIC OR NEUROSURGERY.

#### PROJECT INFORMATION

##### PROJECT DIRECTORY

OWNER UNITED VETERINARY SPECIALTY & EMERGENCY DEAN FILIPOWICZ 408-371-6252	ARCHITECT BRAD COX, ARCHITECT, INC. 1174 LINCOLN AVE, SUITE 7 SAN JOSE, CA 95125 (408) 838-3667
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##### SITE & BUILDING SUMMARY

SITE AREA	=	25,025 GSF (0.57 ACRES)	100%
BUILDING AREA	=	5,732 GSF (ONE STORY)	23.0%
	=	(E) BUILDING = 5,542 SF	
	=	(N) STORAGE = 190 SF	
LANDSCAPE AREA	=	2,923 GSF	12.0%
PAVED AREA	=	16,094 GSF	64.0%
F.A.R. (ACTUAL)	=	5,732/ 25,025 GSF	0.23
PARKING REQUIRED	=	SEE APPLICANT "PARKING/STAFF ANALYSIS"	
PARKING PROVIDED	=	22	(INCL 2 HNDGP)
BUILDING HEIGHT (EXIST)	=	20'	
BUILDING CONSTRUCTION TYPE	=	V-B	
BUILDING OCCUPANCY TYPE	=	B-BUSINESS	
PARCEL ZONING	=	CR- COMMERCIAL RETAIL	
ESTIMATED NUMBER OF EMPLOYEES	=	SEE APPLICANT "PARKING/STAFF ANALYSIS"	
NATURE OF BUSINESS	=	VETERINARY	
SPRINKLER SYSTEM	=	NO	
APN	=	149-28-010	

##### 601 Showers Parking Analysis

Parking Spaces Required	29
5,750 SF/200	

Parking Spaces Provided	22
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Operational Parking Needs:  
Offset service hours.

Specialty Services	Maximum staffing levels
8 AM - 6 PM M-F	4 Specialists
	8 Staff
	3 Administration
	6 Typical Clients
	21 Total

Emergency Services:	2 Doctors (weekends)
6 PM - 8 AM M-F	6 Staff
24 Hours Weekends + Holidays	8 Typical Clients
	16 Total

Note: Current Campbell facility has 1/500 SF parking ratio and rarely has a parking shortfall (See Operational Plan).

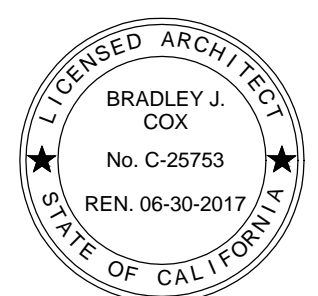
##### SHEET INDEX

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1	A-2.0	EXISTING FLOOR PLAN DEMOLITION
1	A-3.1	FLOOR PLAN
1	A-6.0	EXTERIOR ELEVATIONS
1	A-8.1	EXTERIOR ELEVATIONS
1	L-1	EXISTING PLANTING PLAN (FOR REFERENCE ONLY)

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REVISIONS	
1	09.10.15 PLANNING COMMENTS

07.20.15

DATE

TITLE SHEET

A-0.0

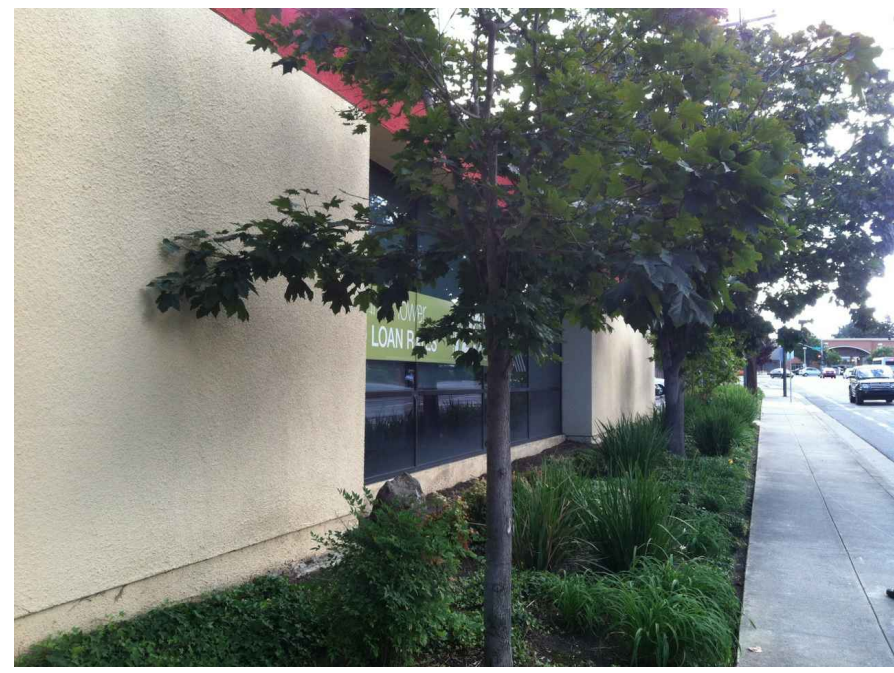
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A PICTURE

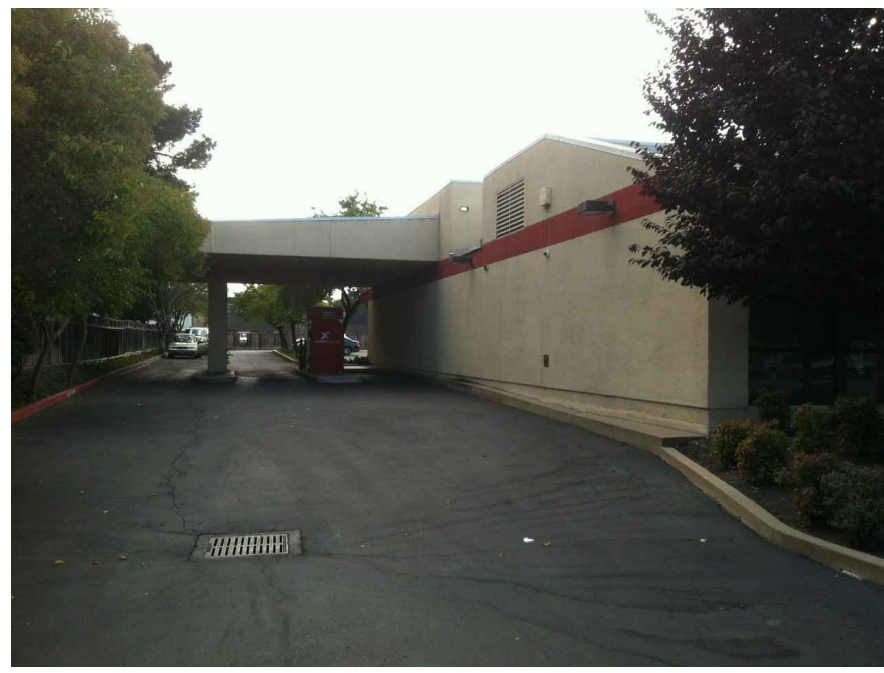


B PICTURE



C PICTURE

LOCATION OF NEW SIDEWALK



D PICTURE

### SITE PLAN KEY NOTES

- 2.01 PAINTED PARKING STRIPPING.
- 2.02 FIRE APPARATUS TURNING RADIUS.
- 2.03 TRASH ENCLOSURE.
- 2.04 ACCESSIBLE PATH OF TRAVEL.
- 2.05 VAN ACCESSIBLE LOADING AREA.
- 2.06 ACCESSIBLE PARKING SPACE.
- 2.07 8'-0" X 24'-0" PARKING SPACE.
- 2.08 (E) 6'-0" HIGH WOOD FENCE AT PROPERTY LINE.
- 2.09 (E) TREE TO REMAIN.
- 2.10 (E) LANDSCAPING TO REMAIN, U.N.O., TYPICAL.
- 2.11 (E) 10" DIA. PRIVET TREE TO BE REMOVED TO ACCOMMODATE NEW TRASH ENCLOSURE.
- 2.12 TREE, 15 GALLON - LAGERSTROEMIA INDICA 'NATCHEZ CRAPE MYRTLE'.
- 2.13 NEW LANDSCAPING AREA.
- 2.14 RAISE PULL BOX COVER FLUSH TO NEW WALKWAY.
- 2.15 REMOVAL OF DRIVE THRU, NEW LOADING AREA.

- 3.01 CONCRETE PAVING WALKWAY.
- 3.02 REMOVE (E) CONCRETE WALKWAY AT ATM.
- 3.03 CONCRETE CURB.
- 3.04 (E) CONCRETE WALKWAY.

8.01 EXTERIOR DOOR.

9.01 LOADING ZONE PAVEMENT MARKING.

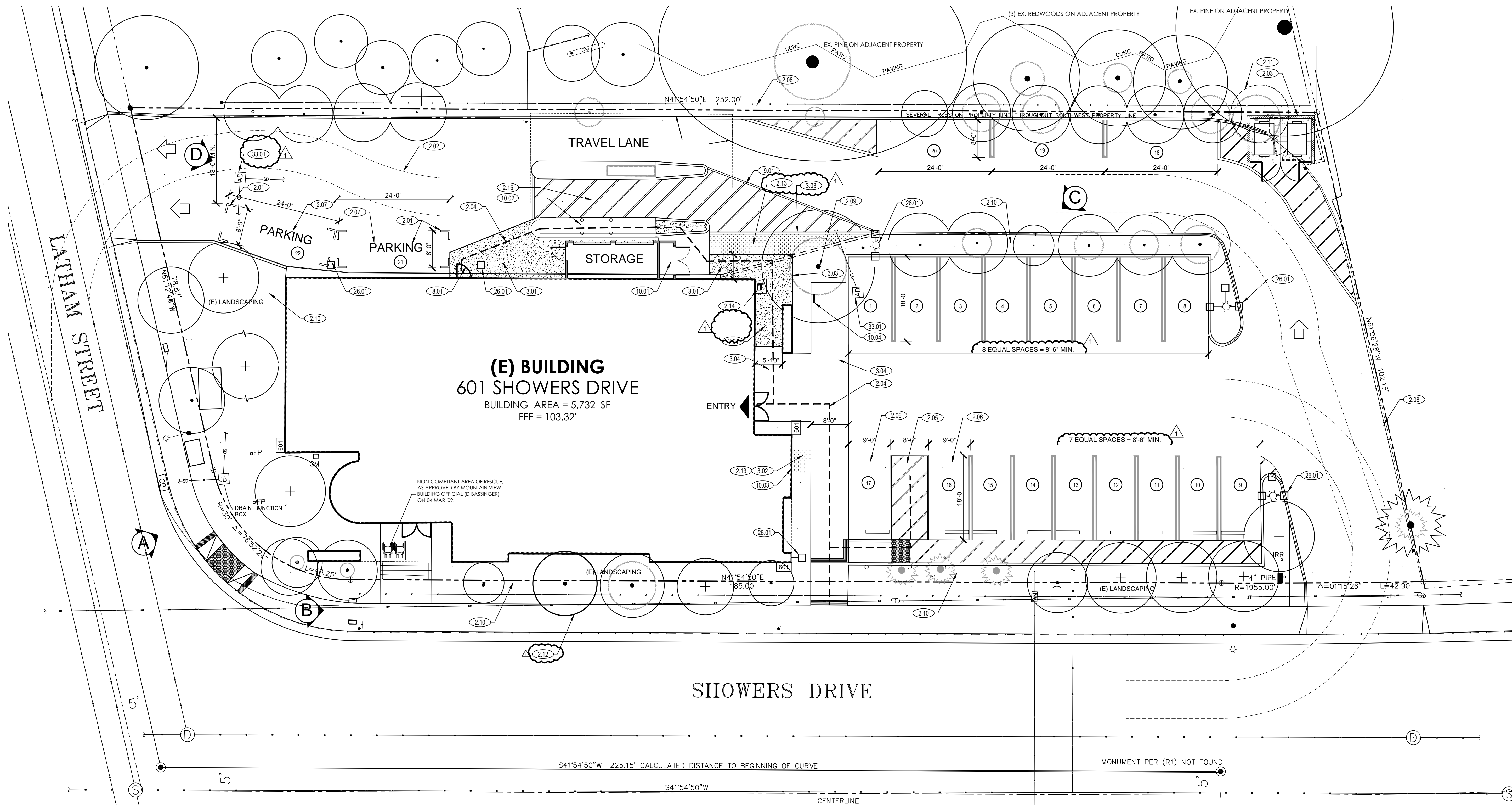
- 10.01 OXYGEN STORAGE.
- 10.02 DRIVE UP ATM MACHINE REMOVED.
- 10.03 WALK-UP ATM MACHINE REMOVED.
- 10.04 (E) BICYCLE RACK.

26.01 (E) PARKING LOT LIGHTING, TYPICAL.

33.01 (E) STORM DRAIN.

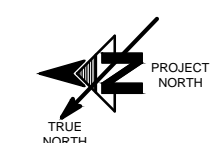
### SITE PLAN GENERAL NOTES

1. ALL EXISTING PARKING IS TO REMAIN.
2. EXISTING PARKING WIDTHS AND PARKING CONFIGURATION ARE TO REMAIN AS THEY ARE.
3. EXISTING SITE PARKING AND BUILDING LIGHTING IS TO REMAIN.
4. EXISTING BIKE RACK CAN HOLD FOUR BIKES.



## 1 SITE PLAN

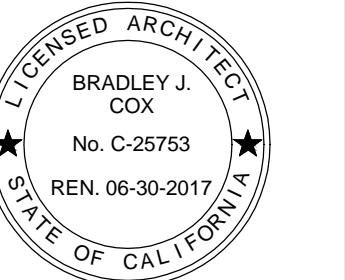
3/32" = 1'-0"



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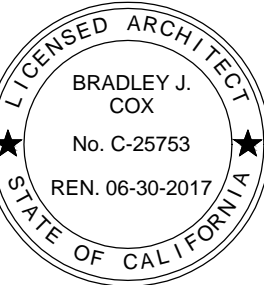
SITE PLAN

A-1.1

SHEET

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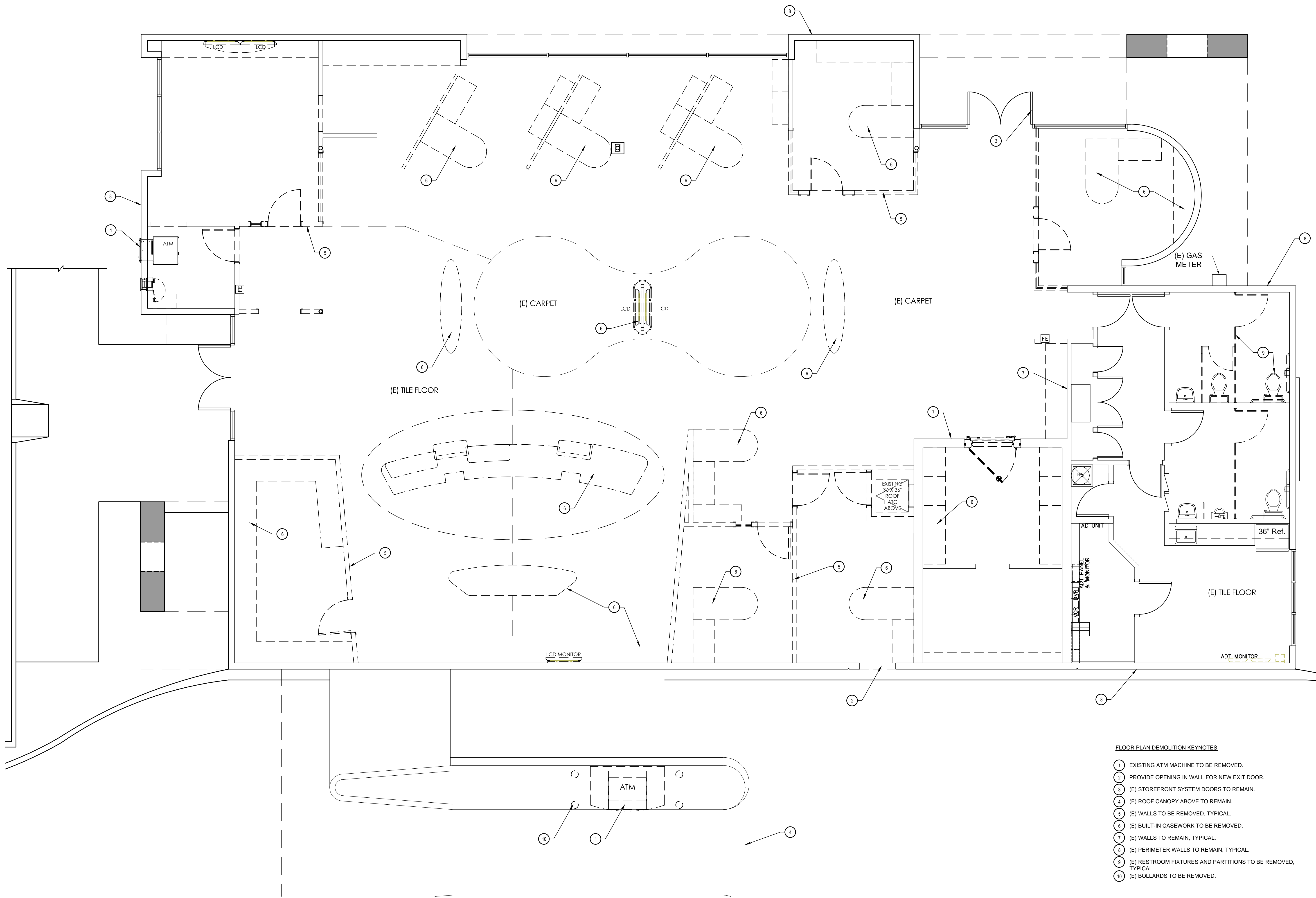
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DATE

FLOOR PLAN  
DEMOLITION

1  
A-2.0  
SHEET

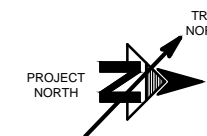
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FLOOR PLAN DEMOLITION KEYNOTES

- EXISTING ATM MACHINE TO BE REMOVED.
- PROVIDE OPENING IN WALL FOR NEW EXIT DOOR.
- (E) STOREFRONT SYSTEM DOORS TO REMAIN.
- (E) ROOF CANOPY ABOVE TO REMAIN.
- (E) WALLS TO BE REMOVED, TYPICAL.
- (E) BUILT-IN CASEWORK TO BE REMOVED.
- (E) WALLS TO REMAIN, TYPICAL.
- (E) PERIMETER WALLS TO REMAIN, TYPICAL.
- (E) RESTROOM FIXTURES AND PARTITIONS TO BE REMOVED, TYPICAL.
- (E) BOLLARDS TO BE REMOVED.

1 DEMOLITION FLOOR PLAN  
1/4" = 1'-0"



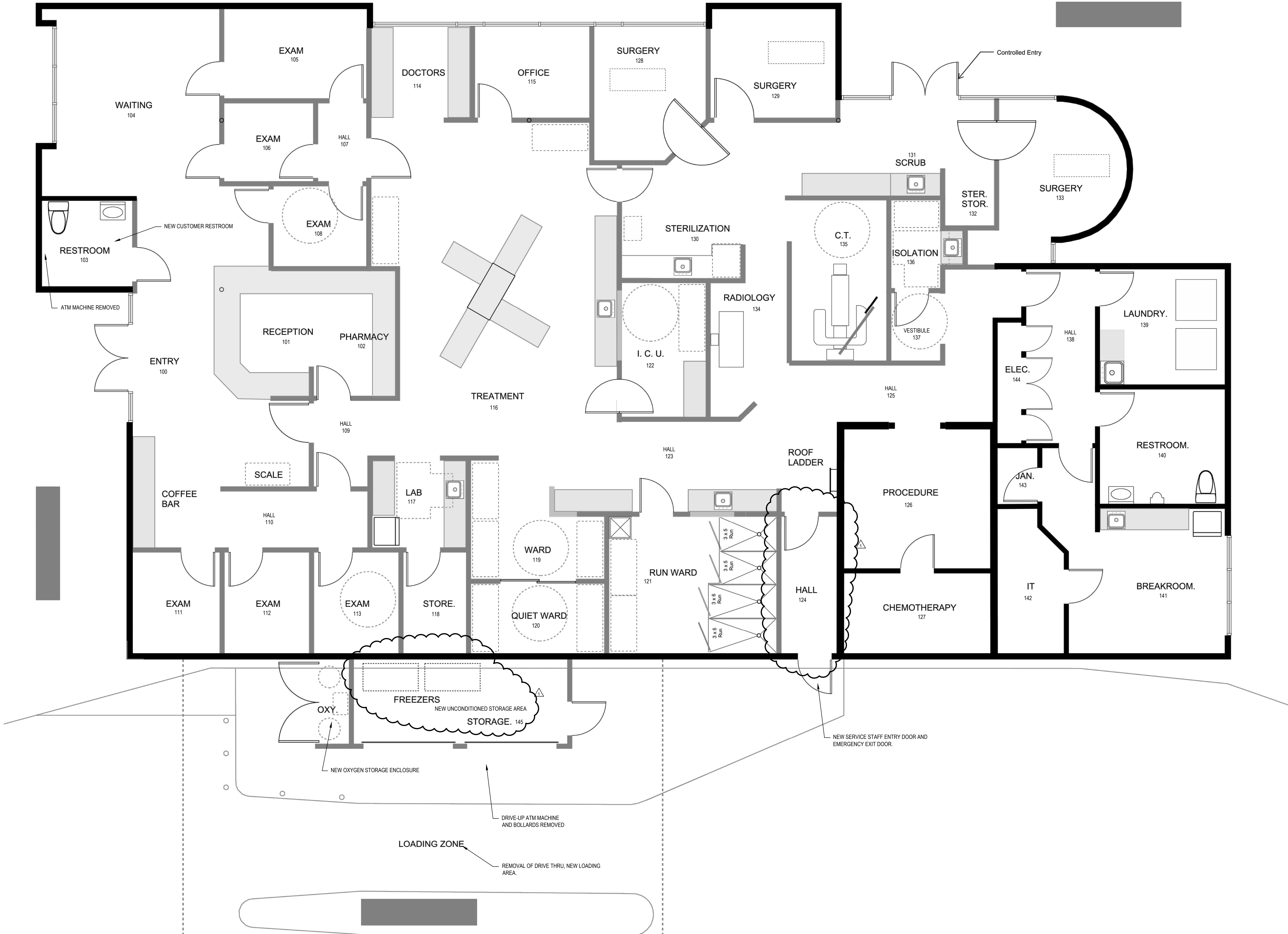


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601 SHOWERS DRIVE MOUNTAIN VIEW, CA 94040

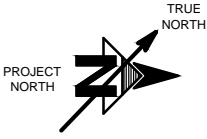
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THE DRAWINGS. DO NOT SCALE  
DRAWINGS. USE GRAPHIC SCALES.

REVISIONS		
Δ	09.10.15	PLANNING COMMENTS



1 FLOOR PLAN

1/4" = 1'-0"

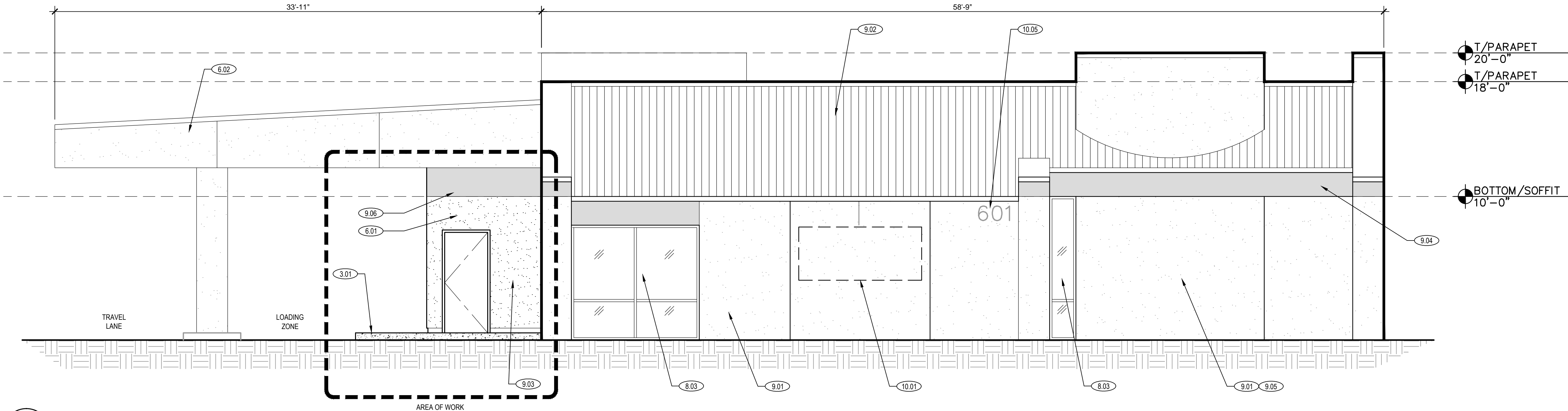


EXTERIOR ELEVATION GENERAL NOTES

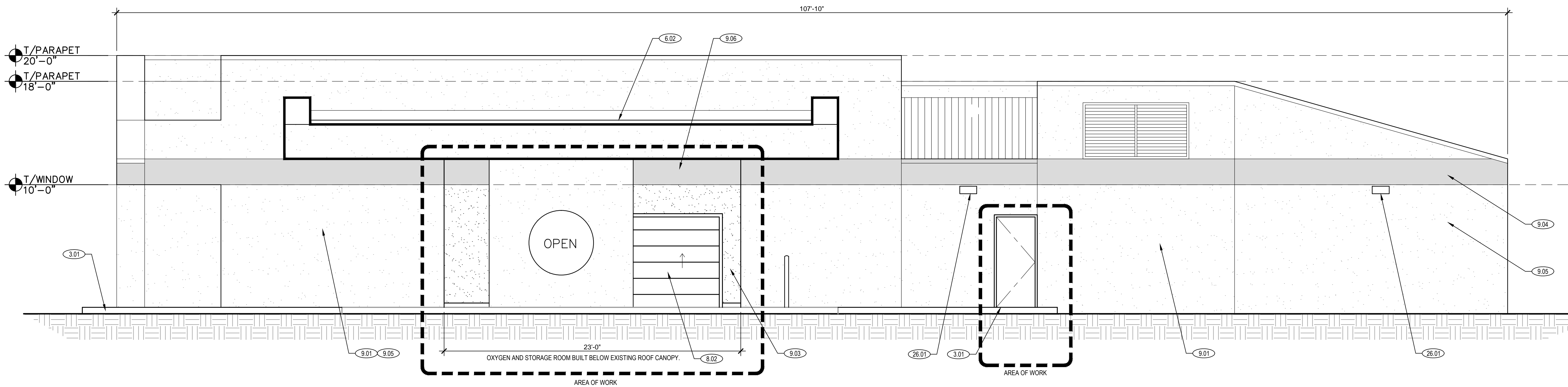
1. THE EXISTING PAINT COLOR OF THE BUILDING IS TO REMAIN. NEW PAINT FINISHES ARE TO MATCH THE EXISTING COLOR. THE EXISTING BUILDING HAS A TAN COLOR WITH A RED ACCENT BAND ALL AROUND.

EXTERIOR ELEVATION KEY NOTES

- 3.01 CONCRETE WALKWAY.  
6.01 STORAGE ENCLOSURE.  
6.02 EXISTING ROOF CANOPY.  
8.01 (E) STOREFRONT DOOR SYSTEM TO REMAIN.  
8.02 ROLL UP DOOR SYSTEM.  
8.03 (E) STOREFRONT WINDOW SYSTEM.  
9.01 (E) CEMENT PLASTER SYSTEM.  
9.02 (E) STANDING SEAM METAL ROOF.  
9.03 CEMENT PLASTER SYSTEM, NEW FINISHES TO MATCH EXISTING.  
9.04 (E) RED PAINTED ACCENT STRIP TO REMAIN.  
9.05 (E) TAN STUCCO PAINT FINISH TO REMAIN.  
9.06 PAINT STUCCO BAND TO MATCH EXISTING.  
10.01 FUTURE TENANT SIGNAGE. A SEPARATE SUBMITTAL WILL BE MADE TO ATTAIN A PERMIT FOR THE INSTALLATION OF SIGNAGE.  
10.02 CHAINLINK FENCE GATES.  
10.03 (E) BIKE RACK.  
10.04 OXYGEN STORAGE AREA.  
10.05 (E) ADDRESS NUMBERS TO REMAIN.  
10.06 (E) WALK-UP ATM AND AWNING TO BE REMOVED.  
26.01 LIGHT FIXTURE.



2 NORTH ELEVATION  
1/4" = 1'-0"

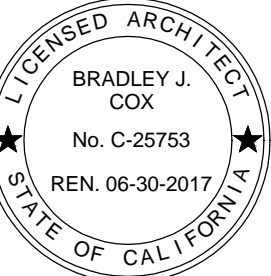


1 EAST ELEVATION  
1/4" = 1'-0"

Brad Cox  
Architect  
Inc

FORMATION

Brad Cox, Architect, Inc.  
LEED AP, AIA  
(408) 838-3667  
1155 MERIDIAN AVE., #208  
SAN JOSE, CA 95125



UNITED VETERINARY  
PROVISIONAL USE PERMIT  
601 SHOWERS DRIVE MOUNTAIN VIEW, CA 94040

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REVISIONS

NO.	DATE	REVISION
1	09.10.15	PLANNING COMMENTS

07.20.15

DATE

EXTERIOR  
ELEVATIONS  
DEMOLITION

A-6.0

SHEET

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REVISIONS		
△	09.10.15	PLANNING COMMENTS

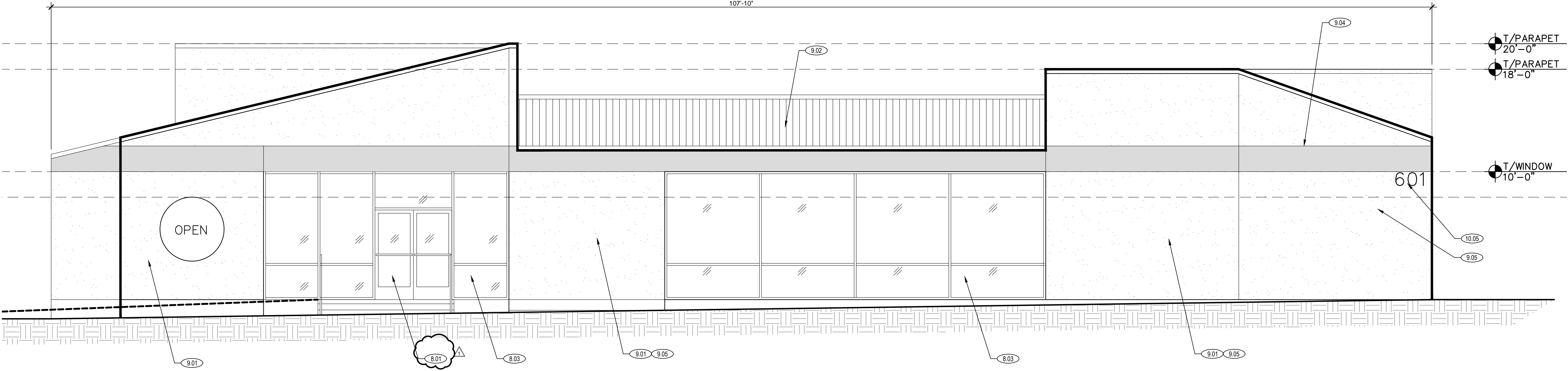
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EXTERIOR ELEVATION GENERAL NOTES

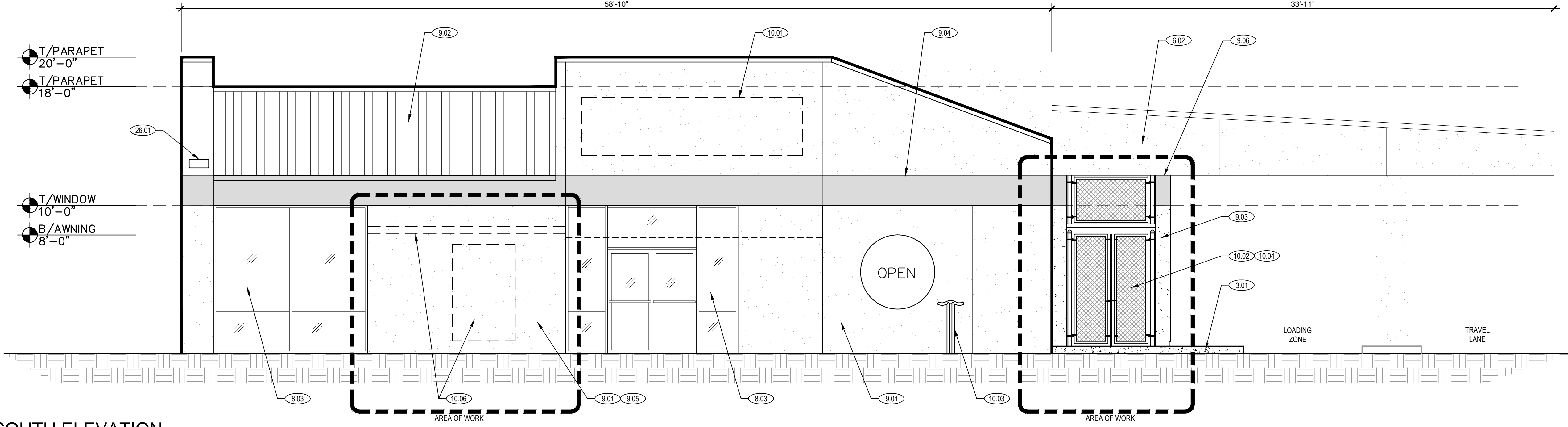
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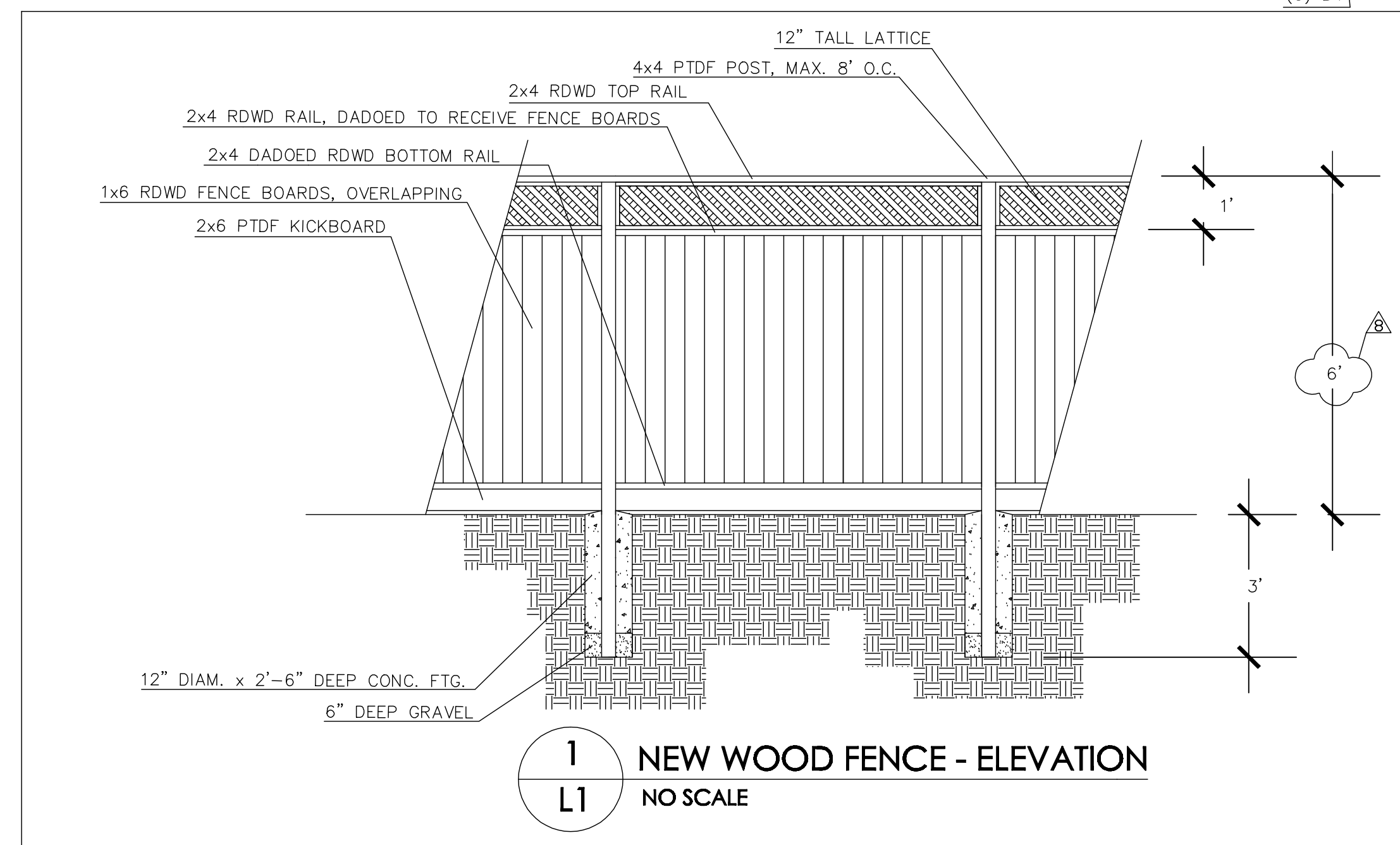
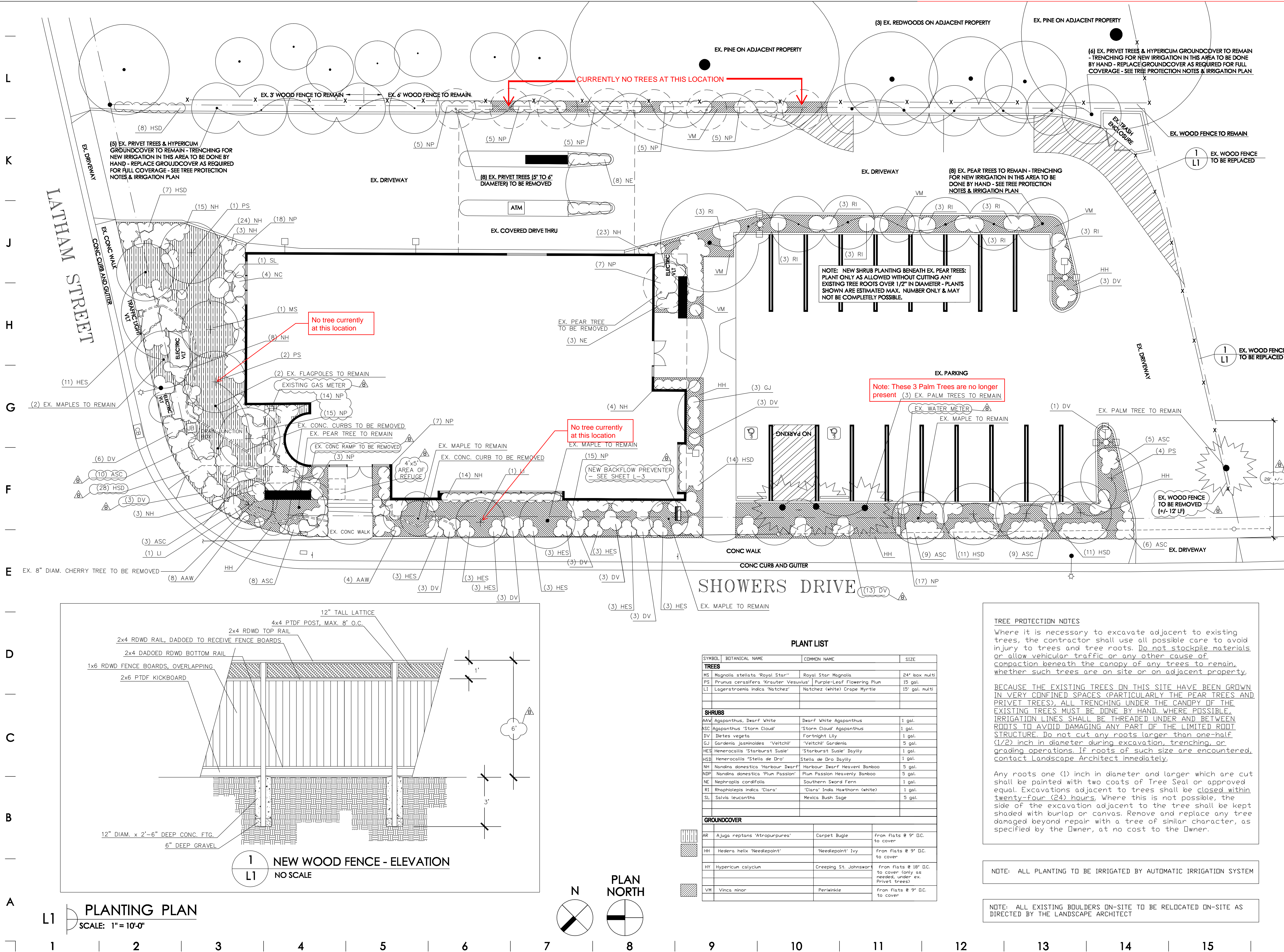
2 WEST ELEVATION  
1/4" = 1'-0"



1 SOUTH ELEVATION  
1/4" = 1'-0"



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PLANT LIST			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>			
MS	Magnolia stellata 'Royal Star'	Royal Star Magnolia	24" box multi
PS	Prunus cerasifera 'Krauter Vesuvius'	Purple-Leaf Flowering Plum	15 gal.
LI	Lagerstroemia indica 'Natchez'	Natchez (white) Crape Myrtle	15" gal. multi
<b>SHRUBS</b>			
AAW	Agapanthus 'Dwarf White'	Dwarf White Agapanthus	1 gal.
ASC	Agapanthus 'Storm Cloud'	'Storm Cloud' Agapanthus	1 gal.
DV	Dieris vegeta	Fountain Lily	1 gal.
GJ	Gardenia jasminoides 'Veitchii'	'Veitchii' Gardenia	5 gal.
HES	Hemerocallis 'Starburst Susie'	'Starburst Susie' Daylily	1 gal.
HSD	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	1 gal.
NH	Nandina domestica 'Harbour Dwarf'	Harbour Dwarf Heavenly Bamboo	5 gal.
NBP	Nandina domestica 'Plum Passion'	Plum Passion Heavenly Bamboo	5 gal.
NE	Nephrolepis cordifolia	Southern Sword Fern	1 gal.
RI	Rhaphalepis indica 'Clara'	'Clara' India Hawthorn (white)	1 gal.
SL	Salvia leucantha	Mexico Bush Sage	5 gal.
<b>GROUNDCOVER</b>			
AR	Ajuga reptans 'Atropurpurea'	Carpet Bugle	From Flats @ 9" O.C. to cover
HH	Hedera helix 'Needlepoint'	'Needlepoint' Ivy	From Flats @ 9" O.C. to cover
HY	Hypericum calycinum	Creeping St. Johnswort	From Flats @ 18" O.C. to cover (only as needed, under ex. Privet trees)
VM	Vinca minor	Periwinkle	From Flats @ 9" O.C. to cover

**TREE PROTECTION NOTES**  
Where it is necessary to excavate adjacent to existing trees, the contractor shall use all possible care to avoid injury to trees and root roots. Do not stockpile materials or allow vehicular traffic or any other cause of compaction beneath the canopy of any trees to remain, whether such trees are on site or on adjacent property.

**BECAUSE THE EXISTING TREES ON THIS SITE HAVE BEEN GROWN IN VERY CONFINED SPACES (PARTICULARLY THE PEAR TREES AND PRIVET TREES), ALL TRENCHING UNDER THE CANOPY OF THE EXISTING TREES MUST BE DONE BY HAND WHERE POSSIBLE. IRRIGATION LINES SHALL BE THREADED UNDER AND BETWEEN ROOTS TO AVOID DAMAGING ANY PART OF THE LIMITED ROOT STRUCTURE. Do not cut any roots larger than one-half (1/2) inch in diameter during excavation, trenching, or grading operations. If roots of such size are encountered, contact Landscape Architect immediately.**

Any roots one (1) inch in diameter and larger which are cut shall be painted with two coats of Tree Seal or approved equal. Excavations adjacent to trees shall be closed within twenty-four (24) hours. Where this is not possible, the side of the excavation adjacent to the tree shall be kept shaded with burlap or canvas. Remove and replace any tree damaged beyond repair with a tree of similar character, as specified by the Owner, at no cost to the Owner.

NOTE: ALL PLANTING TO BE IRRIGATED BY AUTOMATIC IRRIGATION SYSTEM

NOTE: ALL EXISTING BOULDERS ON-SITE TO BE RELOCATED ON-SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT

**XCEED FINANCIAL CREDIT UNION**  
601 SHOWERS DRIVE  
MOUNTAIN VIEW, CA 94040

**Christopher Tigh**  
Landscape Architect  
CA Lic. No. 2627  
516 S. Shoreline Blvd.  
Mountain View, CA 94041  
Tel. (650) 254-1415

**REVISIONS:**

No.	Description	Date
1	PUBLIC WORKS, REMOVE NON-COMPLIANT 6' FENCE, PLANTING, SHOW ALL ABOVE-GROUND METERS, BACKFLOW, ETC., DELETE 3'-FT HIGH FENCE & CORRECT DETAIL.	6 FEB '09
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I hereby certify that these plans were prepared by me, or under my direct supervision and control, and to the best of my knowledge, comply with all applicable codes.

Douglas S. Hansen California Licensed Architect  
Registration: MC-23574  
License Expires: 30 JUN '09

**GRI The Frerichs Group**

**VRA architects**

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**VRA# 5730-12**

Date	07.30 '08
Drawn by	CT
Checked by	CT

**PLANTING PLAN**

**L-1**

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